

5' HEIGHT AREA
VARIANCE TO
ADD A SECOND
STORY TO AN
EXISTING GARAGE
FOR ADDITIONAL
STORAGE

BOARD OF APPEALS
of Oswego, New York
for Interpretation or Variance
OFFICE USE ONLY
Officer. Define part of ordinance in question

FEE: \$25.00

Case No. _____

Date Rec'd BA _____

Date Hearing _____

Date Action _____

Action _____

A. Statement of Ownership and Interest

1. The applicant(s) Michael Coppola
(is) (are) the owner(s) of property situated at 317 Waters Edge, Auburn, NY 13021

2. The applicant's appeal concerns the property owned by Michael Coppola
and located at 317 Waters Edge, Auburn, NY, 13021
Tax Map # 138.01.1.34

B. Nature of Request: To permit the addition of a second floor to
garage. Proposed to be approx. 25' high. The maximum
permitted height for an accessory structure is 20', thus
the area variance request is for a 5' height variance
to add second story storage area to an existing garage.

C. Attach copy of Plot Plan

Signature(s) M Coppola

Telephone No. 607-760-7494 DATE 6.26.2020

Cell No. _____

Town of Owasco
2 Bristol Avenue
Auburn, New York 13021

J. Patrick Doyle
Code Enforcement Officer
Email: codes@owascony.gov

Office Phone: 315-253-9021

Fax: 315-253-2683

Cell Phone: 315-729-3921

Application No. 2020-00

Date: 6/3/20

Fee: \$ _____

Application for Building/Zoning Permit
(Not a Permit)

IMPORTANT INSTRUCTIONS. PLEASE READ CAREFULLY.

1. Application must be complete. Please type or clearly print in ink all necessary information.
2. Completed Application must be submitted to the Owasco Town Clerk with appropriate fee before review process can begin.
3. Application must be supported with the following documents:

MINOR PROJECT: A. Plot plan (see attached sample)
B. Sketch of project and/or specifications/materials list.

MAJOR PROJECT: A. Three (3) copies of plot plan signed
B. Three (3) copies of design drawings signed and sealed by a licensed architect or licensed professional engineer.
C. One (1) copy of approval from developer, if in Planned Development District.

PLEASE COMPLETE:

Location of property: 317 WATERS EDGE, AUBURN
(Street or Firelane No., Lot No., Nearest Road)

Tax Map No.: 138.01-1-34

Name of Owner: MICHAEL COPPOLA

Address: 317 WATERS EDGE

Phone, Email: 607 3 760 7494 (Phone) M@MCOPPOLA.COM (Email)

Application for Building/Zoning Permit (continued)

A. PROJECT CONTACTS:

Builder (If self, so indicate) KEVIN HORNING

Address _____

Phone / Cell / Email 315 923 1233

Architect or Engineer DAVID SECOR

Address _____

Phone / Cell / Email 315 923 1233

B. NATURE OF WORK (CHECK ALL APPROPRIATE CATEGORIES BELOW):

Existing Structure(s)

- 1. Repair (structural) _____
- 2. Addition X
- 3. Alteration X
- 4. Removal _____
- 5. Demolition _____
- 6. Other (specify) _____

New Structure(s)

- 1. Single Family _____
- 2. Accessory Buildings:
Garage: Attached Detached
Shed _____
- 3. Two Family _____
- 4. Deck: Covered Open
- 5. Swimming Pool: Above Below
- 6. Other (specify) _____

C. PRINCIPAL CONSTRUCTION MATERIAL TO BE USED:

- 1. Wood X
- 2. Brick _____
- 3. Block _____
- 4. Other (Specify) _____

D. TYPE OF FOUNDATION:

- 1. Cellar _____
- 2. Slab X
- 3. Basement _____
- 4. Crawlspace _____
- 5. Other (Specify) _____

E. COMPLETE THE FOLLOWING:

1. Water Source: Public _____ Private Well _____ Other _____

2. Sewage: Public _____ Private* _____ None X
* If private, has sewage disposal permit been applied for Yes _____ No _____

3. Will the project involve plumbing? Yes _____ No X

4. Will the project involve H.V.A.C.? Yes _____ No X

5. Will the project involve electrical? Yes _____ No X

F. COST OF THIS PROJECT: (all labor* and materials)
* estimate your labor, if applicable. \$ 260,000

Application for Building/Zoning Permit (continued)

G. ZONING DISTRICT OF PROPERTY (Circle One) ?

1. Residential 2. Agricultural/Residential 3. Lakeshore

H. PRINCIPAL USE OF PRESENT STRUCTURE(S) AND/OR LAND (Circle One)

1. Residential 2. Agricultural/Residential 3. Lakeshore

4. Other (Specify) _____

I. PRINCIPAL USE OF THIS PROPOSED PROJECT. (Describe) STORAGE
of HOUSEHOLD ITEMS (SO I CAN USE ANY GARAGE AGAIN)

J. DIMENSIONS OF TOTAL PROPERTY (If applicable)

Lot size: Length 72 (X) Width _____ (=) Total sq. ft. _____

Existing Buildings:
Length _____ (X) Width _____ (=) sq. ft. _____

Length _____ (X) Width _____ (=) sq. ft. _____

Length _____ (X) Width _____ (=) sq. ft. _____

Total square footage – Existing buildings _____

K. DIMENSIONS OF PROPOSED PROJECT (If applicable)

Length 40 (X) Width 24 (=) Total sq. ft. _____

Height _____ Number of stories _____

L. PROPERTY LINE SETBACKS OF PROPOSED PROJECT. (If applicable)

Front lot line setback _____ ft. Side lot line setback _____ ft.

Rear lot line setback _____ ft. Side lot line setback _____ ft.

M. ENCLOSED LIVING AREA. (If applicable) Total sq. Ft. _____

GENERAL INFORMATION PERTAINING TO THIS APPLICATION

This application will be reviewed by the Code Enforcement Officer and/or the Town Consulting Engineer. If disapproved, a letter of denial explaining reason(s) for denial will be issued to applicant. If approved, a BUILDING/ZONING PERMIT will be issued to the Applicant.

Work covered by this APPLICATION shall not commence prior to the issuance of a PERMIT. The PERMIT shall be valid for a period of twelve (12) months from the date of issuance. Construction under the PERMIT must be substantially complete within twelve (12) months or an extension must be obtained from the Code Enforcement Officer. A NOTICE OF PERMIT (issued by the Town) must be kept on the premises, publicly visible, throughout the progress of work.

Application for Building/Zoning Permit (continued)

This project may involve work requiring approval of various outside agencies. Certain outside agency approvals may be required prior to the issuance of a Permit. Final approval of all agencies involved must be submitted to the Code Enforcement Officer prior to the issuance of a Certificate of Occupancy or Compliance. Examples, not limited to the following, would be:

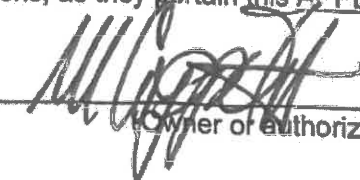
<u>Project Involvement</u>	<u>Agency</u>
1. Land division, SEQR, etc.	Owasco Planning Board
2. Zoning matters, SEQR	Owasco Zoning Board of Appeals
3. Public water, sewer	Owasco Water, Sewer Departments(s)
4. Private septic system	Cayuga County Health Department
5. N.Y.S. Roads	NYS Dept. of Transportation
6. Floodplains, wetlands	NYS Dept. of Environmental Conservation
7. Streams, Lakes, etc.	U.S. Army Corps of Engineers

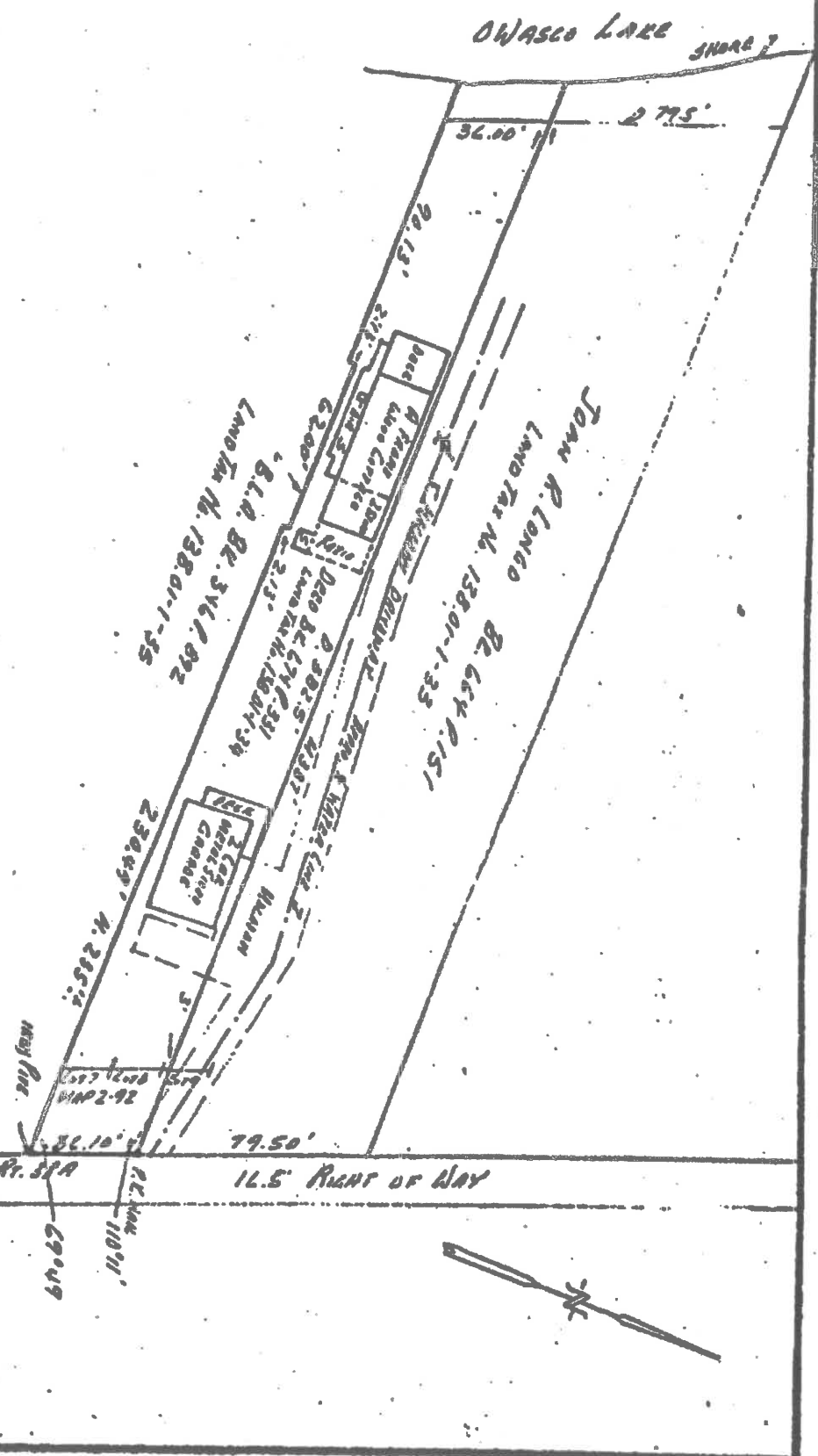
Application for a CERTIFICATE OF OCCUPANCY OR COMPLIANCE is made concurrently with this filing. It is the responsibility of the owner or authorized agent to notify the Code Enforcement Officer when the project is completed in order to obtain a Certificate of Occupancy or Compliance.

The Town Code Enforcement Officer and/or Building Inspector, upon the display of proper credentials and in the discharge of his duties, shall be permitted to enter upon the premises covered by this application with out interference, for the purposes of inspecting, during normal working hours.

No person shall make any changes to the plans herewith submitted or of the specifications herein contained in the structural part of the project without the written consent of the Code Enforcement Officer.

.....
I certify that the answers to the questions set forth in this APPLICATION are true, correct and complete. Additionally, I agree that, in the event the PERMIT is approved, to comply with the provisions of all State of New York and Federal Government laws, rules and regulations, as they pertain this APPLICATION.

Signature:  _____
(Owner or authorized agent)



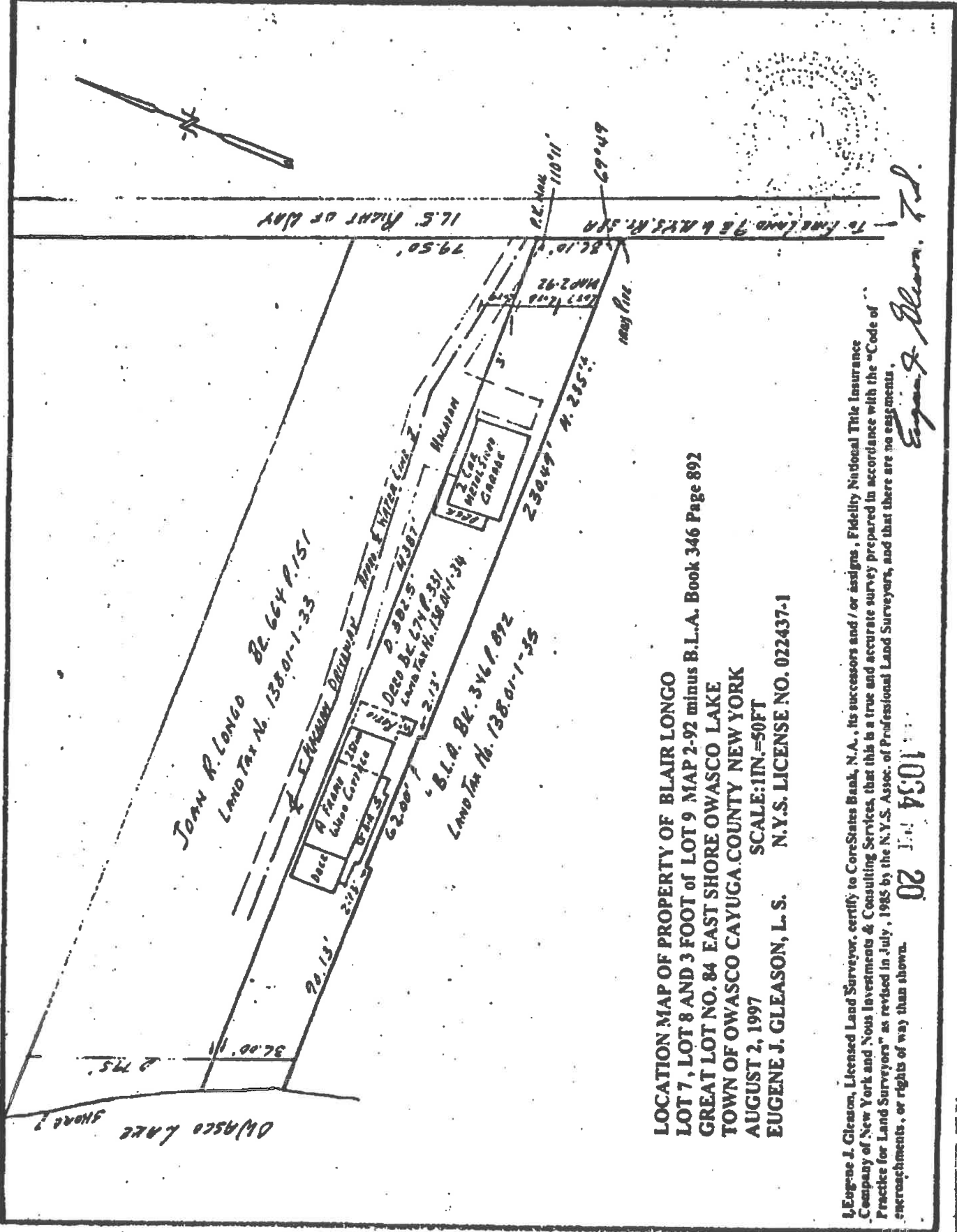
LOCATION MAP OF PROPERTY OF BLAIR LONGO
 LOT 7, LOT 8 AND 3 FOOT OF LOT 9 MAP 2-92 minus B.L.A. Book 346 Page 892
 GREAT LOT NO. 84 EAST SHORE OWASCO LAKE
 TOWN OF OWASCO CAYUGA COUNTY NEW YORK
 AUGUST 2, 1997
 EUGENE J. CLEASON, L.S. N.Y.S. LICENSE NO. 022437-1
 SCALE: 1IN=50FT

Eugene J. Cleason, Licensed Land Surveyor, certifies to the State of New York, its successors and / or assigns, Fidelity National Title Insurance Company of New York and Sous Investments & Consulting Services, that this is a true and accurate survey prepared in accordance with the "Code of Practice for Land Surveyors" as revised in July, 1985 by the N.Y.S. Assoc. of Professional Land Surveyors, and that there are no easements, encroachments, or rights of way than shown.

1034 P.M. 20

Eugene J. Cleason, L.S.

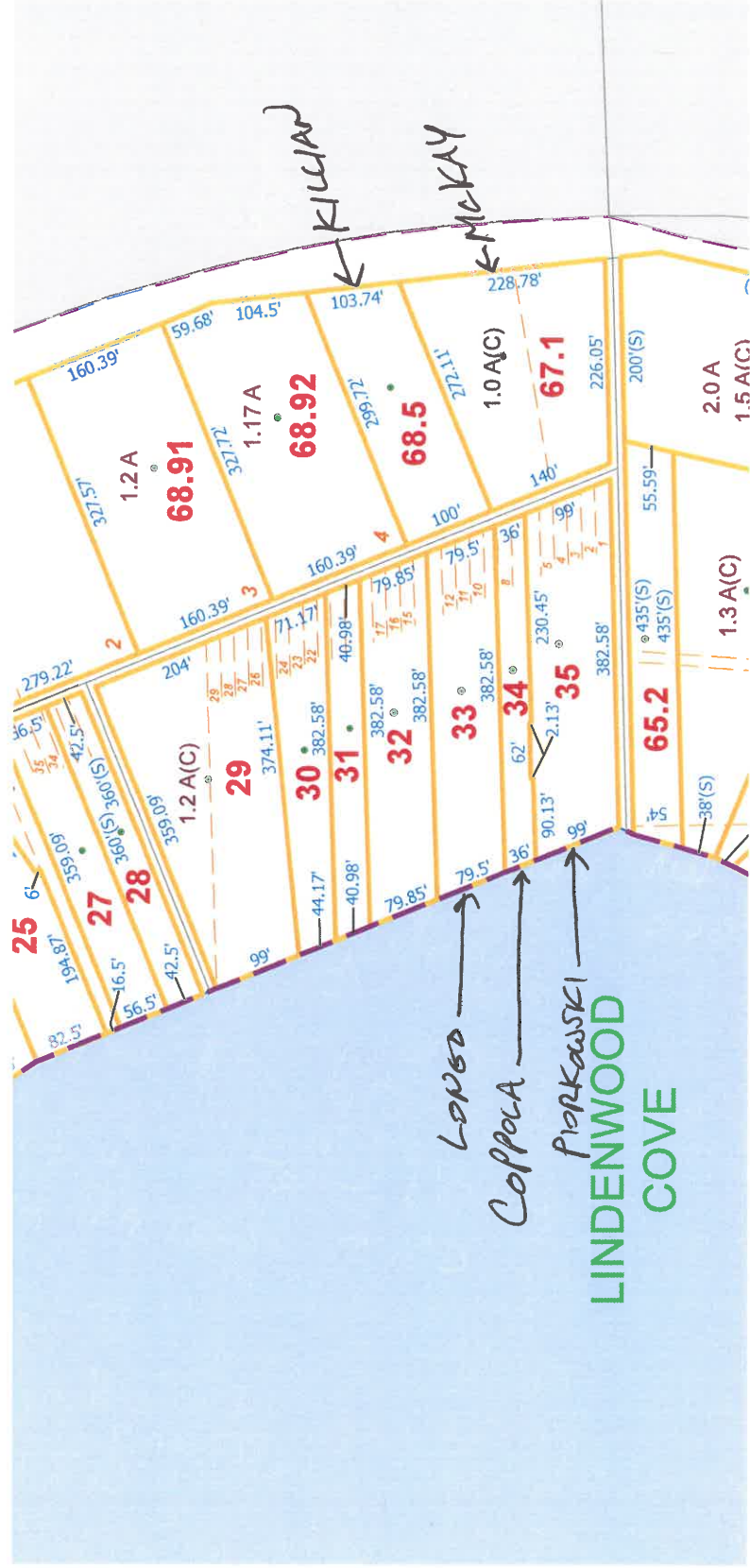
To Land Lot 7, 8 & 3 ft. of Lot 9, Map 2-92



LOCATION MAP OF PROPERTY OF BLAIR LONGO
 LOT 7, LOT 8 AND 3 FOOT OF LOT 9 MAP 2-92 minus B.L.A. Book 346 Page 892
 GREAT LOT NO. 84 EAST SHORE OWASCO LAKE
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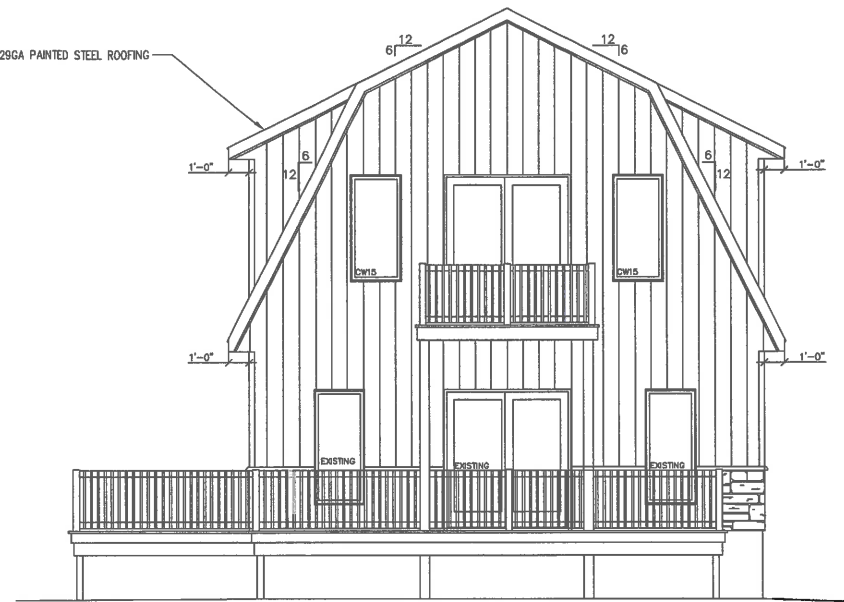
Eugene J. Gleason, Licensed Land Surveyor, certifies to CoreStates Bank, N.A., its successors and/or assigns, Fidelity National Title Insurance Company of New York and Noss Investments & Consulting Services, that this is a true and accurate survey prepared in accordance with the "Code of Practice for Land Surveyors" as revised in July, 1985 by the N.Y.S. Assoc. of Professional Land Surveyors, and that there are no encroachments, encroachments, or rights of way than shown.

Eugene J. Gleason, L.S.

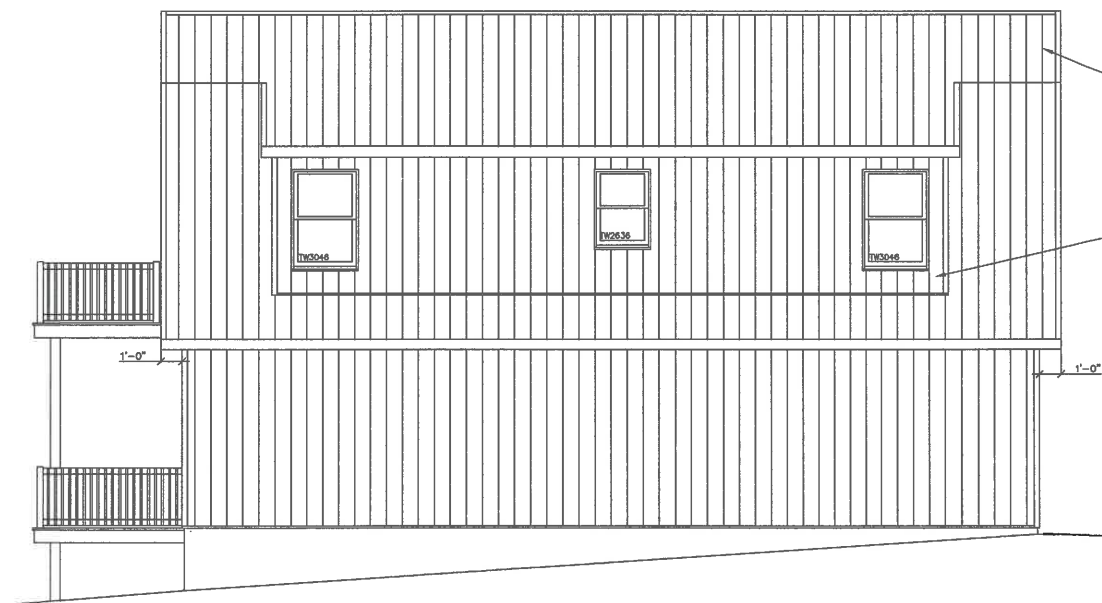




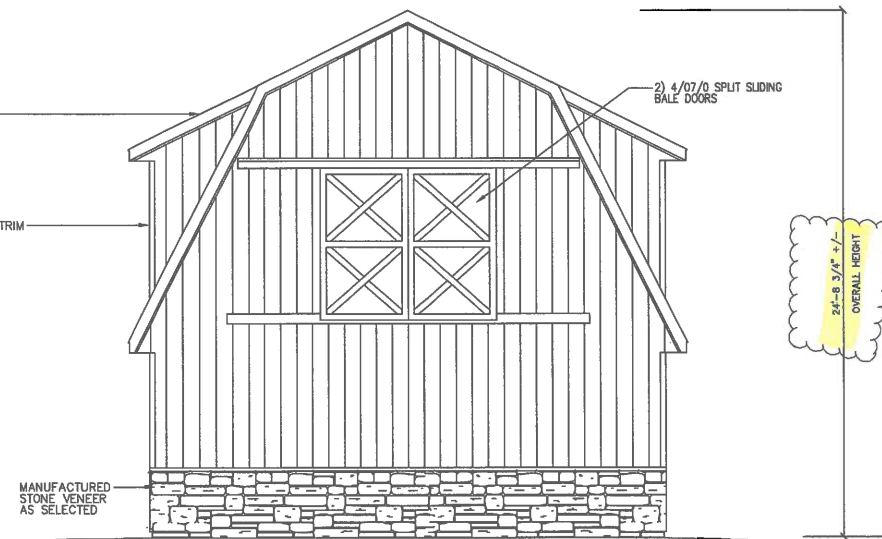
1 NORTH ELEVATION
A-1 SCALE: 1/4"=1'-0"



2 WEST ELEVATION
A-1 SCALE: 1/4"=1'-0"



3 SOUTH ELEVATION
A-1 SCALE: 1/4"=1'-0"



4 EAST ELEVATION
A-1 SCALE: 1/4"=1'-0"

GENERAL SPECIFICATIONS

DESIGN CRITERIA:

- THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE NEW YORK STATE RESIDENTIAL BUILDING CODE AND MEETS OR EXCEEDS THE CURRENT ENERGY CONSERVATION CODE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS INDICATED ON PLANS PRIOR TO THE START OF ANY WORK. REPORT ALL DISCREPANCIES IMMEDIATELY TO ENGINEER/ARCHITECT.
- ROOF:
 - 42 PSF LIVE LOAD, TC DL 7 PSF LIVE LOAD, SC DL 10 PSF LIVE LOAD
- SOIL BEARING: 2000 PSF MIN.
- SNOW: 50 PSF GROUND LOAD, ADJ. W/ ROOF PITCH
- ALL DIMENSIONS INDICATED SHALL BE VERIFIED PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- ACCESSWAYS INCLUDING DOORS OR HATCHES FROM CONDITIONED TO UNCONDITIONED SPACES SHALL HAVE WEATHER STRIPPING AND INSULATED TO A LEVEL EQUAL TO SURROUNDING AREAS.
- FOUNDATION/CONCRETE
 - F.T. POST ENDS PLACED ON BOLTS OR 100 LBS. DRY MIX SAWDUST WITH ON-SITE COMPACTED BACKFILL MATERIAL.
 - CONCRETE SUBJECTED TO FREEZE THAW CYCLES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AND ENHANCED AS PER TABLE R402.2 OF THE NYS RESIDENTIAL BUILDING CODE.

WALL CONSTRUCTION

- POST FRAMED WALL ASSEMBLY UNLESS NOTED OTHERWISE.
- INSULATED EXTERIOR WALL CAVITIES WITH MIN. R-19 FIBERGLASS BATTIS SECURELY ATTACHED TO ADJACENT STUDS AS PER MANUFACTURERS RECOMMENDATIONS WHERE SHOWN.
- 2"x4" INTERIOR STUD WALLS @ 16" O.C., UNLESS NOTED OTHERWISE. CLAD WITH PAINTED STEEL WALL LINER.
- MINIMUM 7'-6" CEILING HEIGHT OR AS NOTED ON PLANS.
- INSTALL FIRE BLOCKING IN ACCORDANCE WITH SECTIONS R314.8, R602, R1001.16 OF THE RESIDENTIAL BUILDING CODE. INSTALL FIREBLOCKING IN CONCEALED WALL, STAIR FLOORS AND CEILING AS REQUIRED. 5/8" TYPE "X" GWB ON UNDERSIDE OF STAIRWAYS OR DRAIN.
- ALL WINDOWS SHALL BE VINYL COVERED WOOD, LOW E ANDERSEN OR EQUAL WITH STOODS AND SCREENS. GRILLES ARE OPTIONAL AS PER OWNER.
- ALL WINDOW HEADERS TO BE 2) 2x10 MINIMUM UNLESS NOTED OTHERWISE. PROVIDE 2 PLY JACK STUD IF SPAN IS MORE THAN 4 FEET WIDE.

ROOF AND CEILING CONSTRUCTION

- FIRE-ENGINEERED ROOF TRUSSES AS INDICATED ON DRAWINGS OR RAFTERS AS NOTED. SUBMIT MANUFACTURERS SHOP DRAWINGS BEARING THE SEAL AND SIGNATURE OF A NEW YORK STATE LICENSED STRUCTURAL ENGINEER. ALL ROOFS AND BLOCKING DESIGNED IN ACCORDANCE WITH THE REGIONAL REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND SHALL BE CERTIFIED BY THE MANUFACTURER.
- 29 GA PAINTED STEEL ROOF PANELS WITH MATCHING FASTENERS & TRIM. PAINTED METAL VENTING ROOF VENT, PAINTED ALUMINUM FASCIA & GALV. DRY CODE, PERFORATED VINYL SOFFIT.
- OVERHANG AS INDICATED ON DRAWINGS.

ENERGY CONSERVATION CONSTRUCTION CODE

- SEE ATTACHED RESIDENCE COMPLIANCE CERTIFICATE.

ELECTRICAL

- ALL ELECTRICAL INSTALLATIONS BY QUALIFIED ELECTRICIAN WIRING AS PER THE NATIONAL ELECTRICAL CODE AND CH. 34-39 OF THE RESIDENTIAL CODE OF THE STATE OF NEW YORK INSPECTED BY A TOWN APPROVED INSPECTION AGENCY ARE REQUIRED.
- 200 AMP, 40 SPACE MAIN SERVICE PANELBOARD.
- MINIMUM OF 2 EXTERIOR WATERPROOF GROUND FAULT INTERRUPTERS.
- GROUND FAULT INTERRUPTER RECEPTACLES IN NEAREST LOCATION TO SINK OR DRAIN.
- ALL SWITCHES AND RECEPTACLES INSTALLED AT UNIFORM HEIGHTS THROUGHOUT.
- AC/DC SMOKE DETECTORS ARE REQUIRED IN THE FOLLOWING LOCATIONS:
 - ONE ON EACH FLOOR OF THE HOUSE INCLUDING THE BASEMENT.
 - ONE LOCATED OUTSIDE OF A BEDROOM.
 (THE SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED)
- CARBON MONOXIDE DETECTORS ARE REQUIRED IN THE FOLLOWING LOCATIONS:
 - ON EVERY FLOOR WITH A BEDROOM.
 - INSIDE A BEDROOM WITH A FUEL FIRED APPLIANCE (EX. FIREPLACE). THE BASEMENT WHEN A FUEL FIRED APPLIANCE IS LOCATED THERE. (A COMBO SMOKE/CARBON DETECTOR CAN BE USED ON ALL FLOORS).
- ARC-FAULT CIRCUIT INTERRUPTER (PROTECTION) IS REQUIRED ON ALL 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNITS IN THE FOLLOWING AREAS:

ELECTRICAL CONT.

FAMILY ROOM
DINING ROOMS
LIVING ROOMS
PARLORS
LIBRARIES
DENIS
BEDROOMS
SUNROOMS
RECREATION ROOMS
HALLWAYS
OF SLEEPING ROOMS OR AREAS
RECREATION ROOMS

AREAS THAT DO NOT REQUIRE ARC FAULT PROTECTION:

KITCHENS
BATHROOMS
OUTDOORS
UNFINISHED BASEMENTS

- BASICALLY ANY AREA THAT REQUIRES GFCI (GROUND FAULT CIRCUIT INTERRUPTER) DOES NOT REQUIRE ARC FAULT PROTECTION
- AT LEAST 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- ELECTRICAL AND PLUMBING INSTALLATIONS SHALL MEET OR EXCEED LOCAL & NATIONAL CODE REQUIREMENTS AND SHALL BE INSPECTED IN ACCORDANCE WITH APPLICABLE LAWS.
- SMOKE & CARBON MONOXIDE DETECTORS SHALL BE DIRECT WIRED AND CONFORM TO SECTION R-314 OF THE RESIDENTIAL CODE. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED WITH EACH DWELLING UNIT OR ANY FLOOR HAVING AREAS FOR SLEEPING AS PER SECTION R-315.

MECHANICAL

- EXHAUST FANS IN BATHROOMS WITHOUT OPERABLE WINDOWS SHALL HAVE 30 CFM INTERMITTENT OR 20 CFM CONTINUOUS VENTILATION.
- EXHAUST VENT PIPES SHALL BE SOLID PIPE AND VENTED TO EXTERIOR A MINIMUM OF 3 FT FROM ANY OPENING, 10 FT FROM AIR INTAKE. THE LENGTH SHALL NOT EXCEED THAT LISTED IN TABLE M 1506.2.
- VENTS FOR CLOTHES DRYERS SHALL HAVE A SMOOTH INTERIOR SURFACE, BE MADE OF METAL, BE 4" MIN. IN DIA. AND 28GA WITH A LENGTH NOT EXCEEDING 35 FT. SEE TABLE M 1507.3.3.
- RANGE HOODS FOR GAS APPLIANCES SHALL EXHAUST TO THE EXTERIOR PER SECTION M 1503.
- WHOLE-BUILDING MECHANICAL VENTILATION SYSTEMS SHALL CONFORM TO SECTION M 1507 AND TABLE M 1507.3.3.
- PLUMBING INCLUDING WATER, SOIL OR SANITARY LINES SHALL NOT BE INSTALLED OUTSIDE OF THE BUILDING EXTERIOR WALLS OR IN ATTICS OR CRAWL SPACES, OR ANY OTHER PLACE WHERE FREEZING CAN OCCUR UNLESS PROVISIONS ARE MADE TO INSULATE OR HEAT THE LINES.



planning engineering construction
13140 west church street savannah, new york 13146
ph. 315-365-2838 fax. 315-365-3434
e-mail: engineering@secorbuildingsolutions.com

This drawing is the property of Secor Engineering. Reproduction, alteration, or use without the written consent of Secor Engineering is prohibited. Drawings shall not be used to obtain dimensions. The contractor and builder involved on this project shall review and verify all dimensions prior to the start of any related work. Report any discrepancy found to the engineer of record in writing before proceeding with any related work.

Structural Engineer:
SECOR ENGINEERING SERVICES
13140 Route 31
Savannah, New York 13146
315-365-2838

General Contractor:

Project:
GARAGE ROOF RECONSTRUCTION FOR:
Molly McGowan and Mike Coppola
317 WATERSEEDGE
TOWN OF OWASCO, NEW YORK

Plan: ELEVATIONS

Seal:



Not Noted For Agency Review Or Construction Without Stamp and Signature

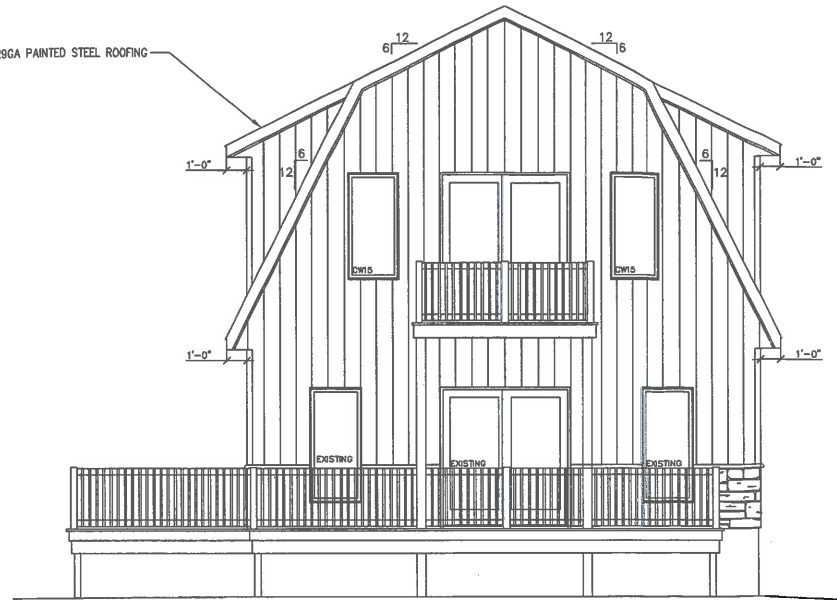
Date: MAY 27, 2020
Scale: AS NOTED
Drawn By: JRM
Project Number: 2745-2047
Sheet: A-1 of 4

Revisions:
06/01/20 PERMIT SET

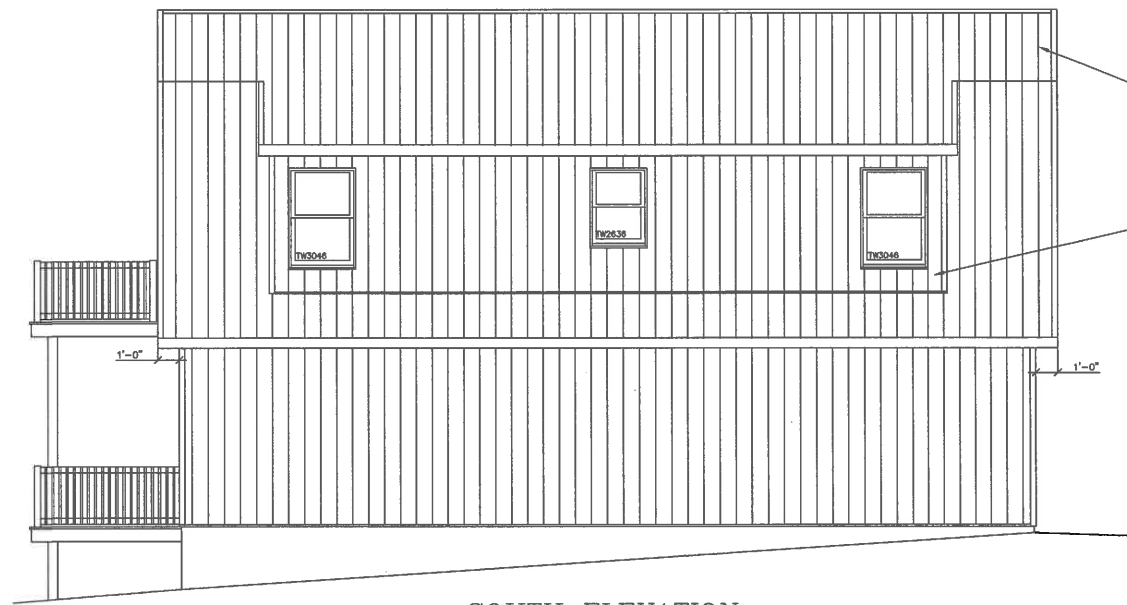
WARNING: It is a violation of the law for any person, unless acting under the direction of a licensed professional engineer, to alter any plans on this drawing in any way. Any licensee altering this document in any way by line, check, or otherwise shall be held liable for the alteration "altered" by his/her signature, the date of such alteration and a specific description of the alteration.



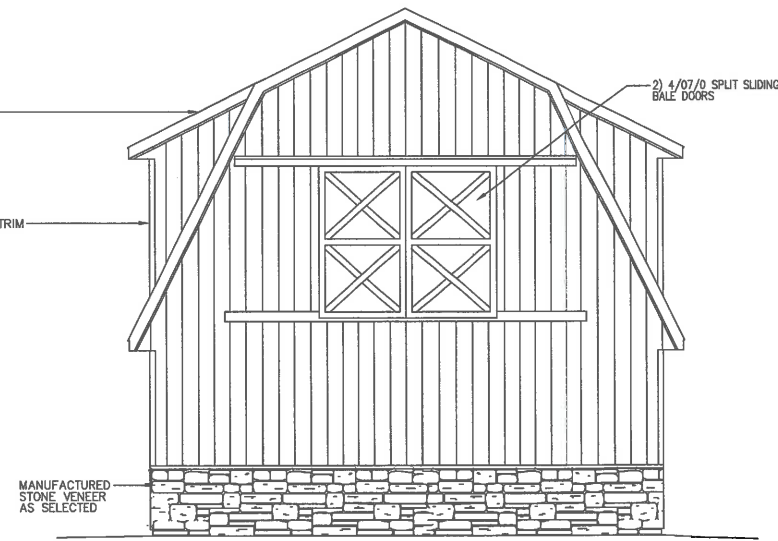
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- ROOF: 42 PSF LIVE LOAD, 10 DL, 7 PSF LIVE LOAD, 10 DL, 10 PSF LIVE LOAD
- SOIL BEARING: 2000 PSF MIN.
- SNOW: 50 PSF GROUND LOAD, ADA W/ ROOF FIGHT
- ALL DIMENSIONS INDICATED SHALL BE VERIFIED PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- ACCESSWAYS INCLUDING DOORS OR HATCHES FROM CONDITIONED TO UNCONDITIONED SPACES SHALL HAVE WEATHER STRIPPING AND INSULATED TO A LEVEL EQUAL TO SURROUNDING AREAS.

FOUNDATION/CONCRETE

- P.T. POST ENDS PLACED ON BOLTS, OR 180 LBS. DRY MIX MORTAR WITH ON-SITE COMPACTED BASELIFT MATERIAL.
- CONCRETE SURFACES TO FREEZE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AIR ENTRAINMENT AS PER TABLE 1902.2 OF THE NYS RESIDENTIAL BUILDING CODE.

WALL CONSTRUCTION

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- INSULATED EXTERIOR WALL CAVITIES WITH MIN. R-10 FIBERGLASS BATTIS SECURELY ATTACHED TO ADJACENT STUDS AS PER MANUFACTURER'S RECOMMENDATIONS WHERE SHOWN.
- 2x4 INTERIOR STUD WALLS @ 16" O.C. UNLESS NOTED OTHERWISE. CLAD WITH PAINTED STEEL WALL LINER.
- MINIMUM 7'-6" CEILING HEIGHT OR AS NOTED ON PLANS.
- INSTALL FIRE BLOCKING IN ACCORDANCE WITH SECTIONS R314.8, R302, R303.1 OF THE RESIDENTIAL BUILDING CODE. INSTALL FIREBLOCKING IN CONCEALED WALL, STAIR, FLOOR AND CEILING AS REQUIRED. 5/8" TYPE "X" GIBS ON UNDERSIDE OF STAIRWAYS.
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- OVERHANG AS INDICATED ON DRAWINGS.

ENERGY CONSERVATION CONSTRUCTION CODE

- SEE ATTACHED RESCHECK COMPLIANCE CERTIFICATE.

ELECTRICAL

- ALL ELECTRICAL INSTALLATIONS BY QUALIFIED ELECTRICIAN WIRE AS PER THE NATIONAL ELECTRICAL CODE AND CH. 34-39 OF THE RESIDENTIAL CODE OF NYS. INDEPENDENT INSPECTIONS BY A TOWN APPROVED INSPECTION AGENCY ARE REQUIRED.
- 200 AMP, 40 SPACE MAIN SERVICE PANELBOARD.
- MINIMUM OF 2 EXTERIOR WATERPROOF GROUND FAULT INTERRUPTERS.
- GROUND FAULT INTERRUPTER RECEPTACLES IN NEAREST LOCATION TO SINK OR DRINK.
- ALL SWITCHES AND RECEPTACLES INSTALLED AT UNIFORM HEIGHTS THROUGHOUT.
- AC/DC SMOKE DETECTORS ARE REQUIRED IN THE FOLLOWING LOCATIONS:
 - ONE ON EACH FLOOR OF THE HOUSE INCLUDING THE BASEMENT.
 - ONE IN EACH BEDROOM.
 - ONE LOCATED OUTSIDE OF A BEDROOM.
- CARBON MONOXIDE DETECTORS ARE REQUIRED IN THE FOLLOWING LOCATIONS:
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 - THE BASEMENT WHEN A FUEL-FIRED APPLIANCE IS LOCATED THERE. (A COMBID SMOKE/CARBON DETECTOR CAN BE USED ON ALL FLOORS)
- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION(AFCI) IS REQUIRED ON ALL BRANCH CIRCUITS SERVING OUTLET RECEPTACLES IN THE FOLLOWING AREAS:

ELECTRICAL CONT.

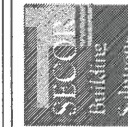
- FAMILY ROOM
- DINING ROOMS
- LIVING ROOMS
- PARLORS
- LIBRARIES
- DEN'S
- BEDROOMS
- SUBROOMS
- RECREATION ROOMS
- CLOSET'S
- HALLWAYS
- OR SIMILAR ROOMS OR AREAS
- RECREATION ROOMS

AREAS THAT DO NOT REQUIRE ARC FAULT PROTECTION:

- KITCHENS
- UNFINISHED BASEMENTS
- BASICALLY ANY AREA THAT REQUIRES OFCI (GROUND FAULT CIRCUIT INTERRUPTER) DOES NOT REQUIRE ARC FAULT PROTECTION)
- AT LEAST 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- ELECTRICAL AND PLUMBING INSTALLATIONS SHALL MEET OR EXCEED LOCAL & NATIONAL CODE REQUIREMENTS AND SHALL BE INSPECTED IN ACCORDANCE WITH APPLICABLE LAWS.
- SMOKE & CARBON MONOXIDE DETECTORS SHALL BE DIRECT WIRED AND CONFORM TO SECTION R-314 OF THE RESIDENTIAL CODE. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED WITHIN EACH DWELLING UNIT OR ANY FLOOR HAVING AREAS FOR SLEEPING AS PER SECTION R-315.

MECHANICAL

- EXHAUST FANS IN BATHROOMS WITHOUT OPERABLE WINDOWS SHALL HAVE 30 CFM INTERMITTENT OR 20 CFM CONTINUOUS VENTILATION.
- EXHAUST VENT PIPES SHALL BE SOLID PIPE AND VENTED TO EXTERIOR. A MINIMUM OF 3 FT FROM ANY OPENING, 10 FT FROM AIR INTAKE. THE LENGTH SHALL NOT EXCEED THAT LISTED IN TABLE M 1506.2.
- VENTS FOR CLOTHES DRYERS SHALL HAVE A SMOOTH INTERIOR SURFACE, BE MADE OF METAL, BE 4" MIN. IN DIA. AND 28GA WITH A LENGTH NOT EXCEEDING 35 FT. SEE TABLE M 1507.3.3.
- RANGE HOODS FOR GAS APPLIANCES SHALL EXHAUST TO THE EXTERIOR PER SECTION M 1503.
- WHOLE-BUILDING MECHANICAL VENTILATION SYSTEMS SHALL CONFORM TO SECTION M 11507 AND TABLE M 1507.3.3.
- PLUMBING INCLUDING WATER, SOIL OR SANITARY LINES SHALL NOT BE INSTALLED OUTSIDE OF THE BUILDING EXTERIOR WALLS OR IN ATTICS OR CRAWL SPACES, OR ANY OTHER PLACE WHERE FREEZING CAN OCCUR UNLESS PROVISIONS ARE MADE TO INSULATE OR HEAT THE LINES.



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GARAGE ROOF RECONSTRUCTION FOR:
Molly McGowan and Mike Coppola
317 WATERSEDGE
TOWN OF OWASCO, NEW YORK

Plan:
ELEVATIONS

Seal:

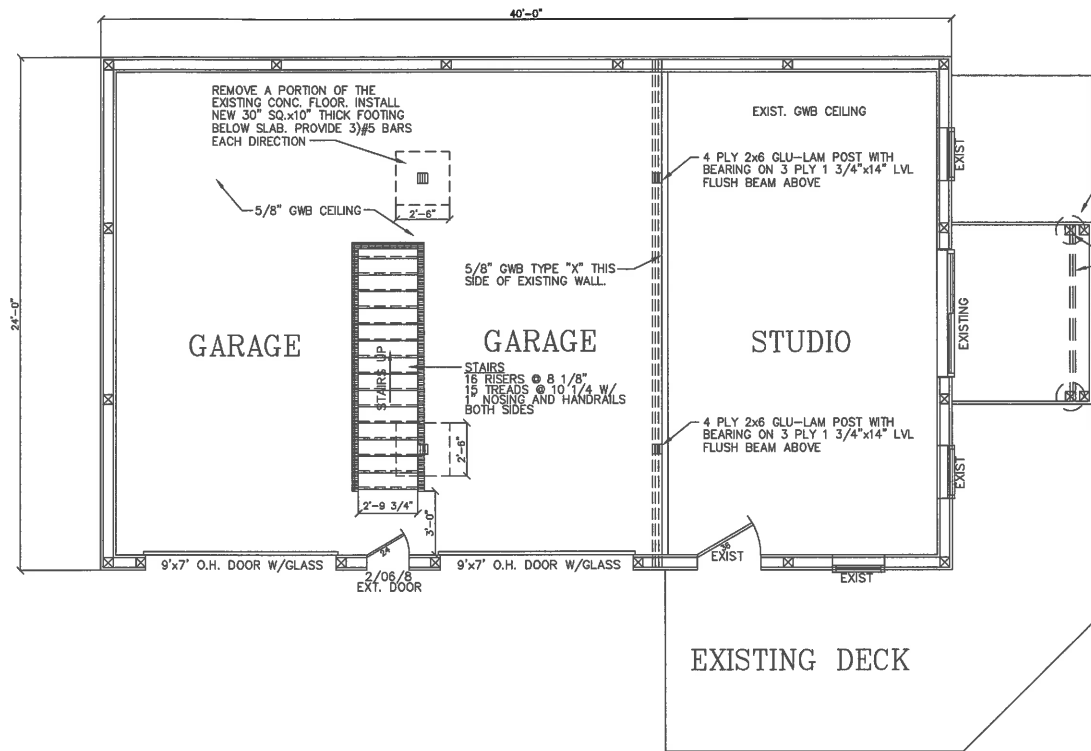


David E. Secor
Professional Engineer, State of New York, License No. 17135-09

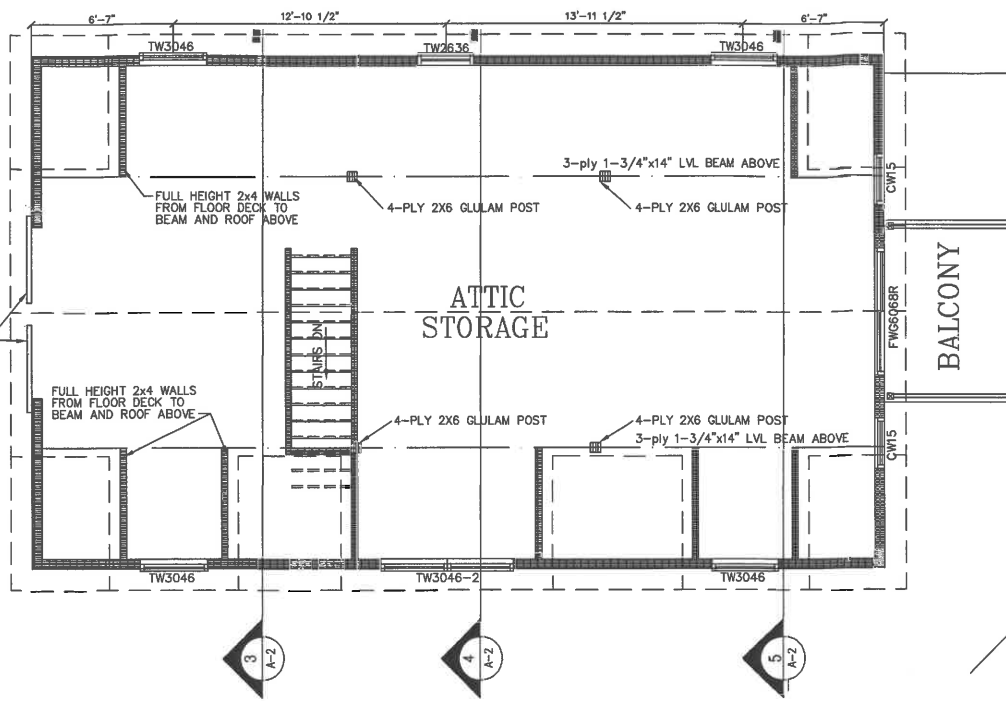
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Project Number: 2745-2047
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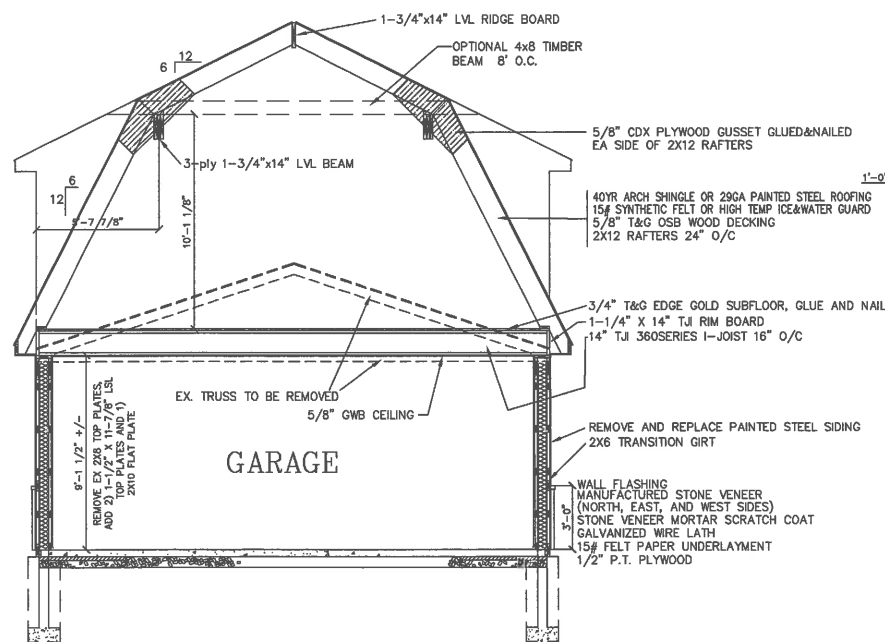
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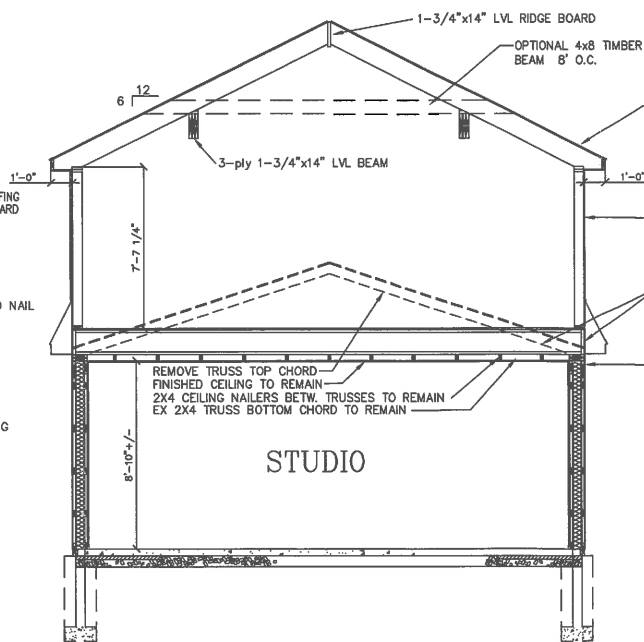
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SCALE: 1/4"=1'-0"
PLAN NORTH



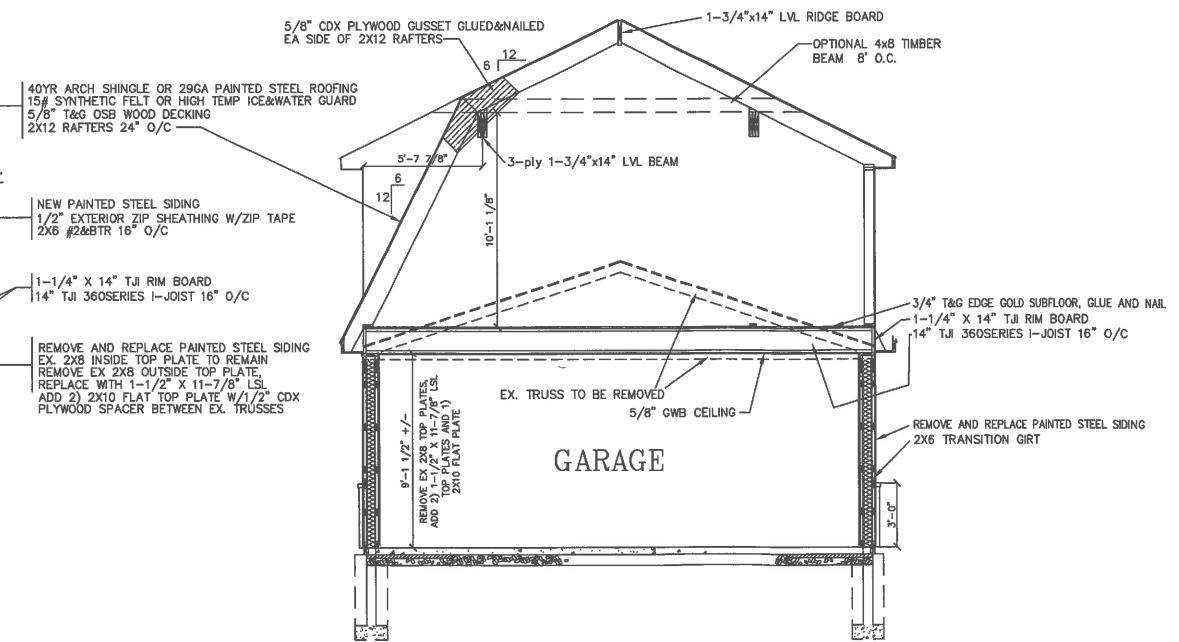
2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"
PLAN NORTH



3 SECTION OVER GARAGE
SCALE: 1/4"=1'-0"



4 SECTION OVER STUDIO THRU DORMER
SCALE: 1/4"=1'-0"



5 SECTION OVER GARAGE
SCALE: 1/4"=1'-0"



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TOWN OF OWASCO, NEW YORK

Plan:
FLOOR PLANS & SECTIONS

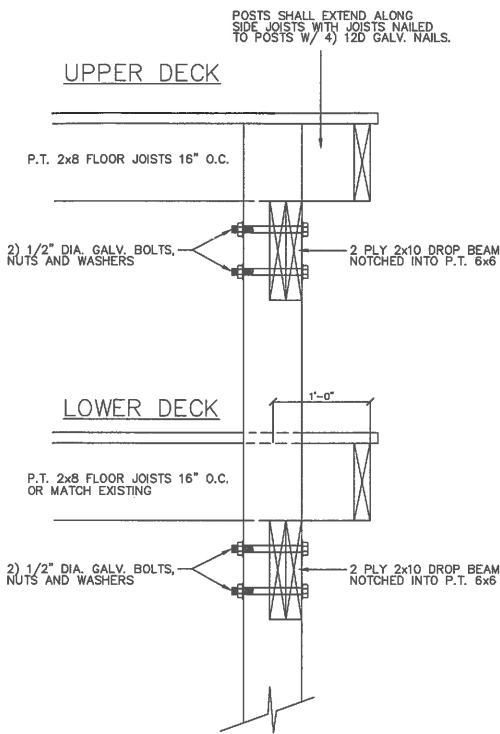
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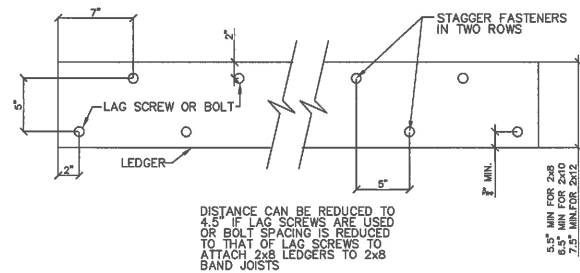
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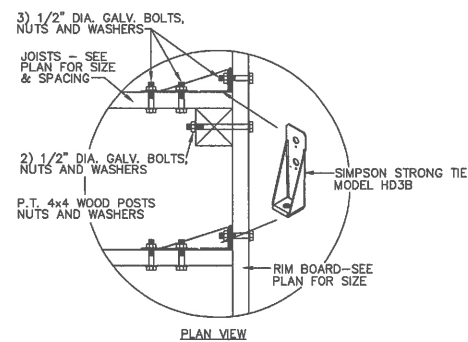
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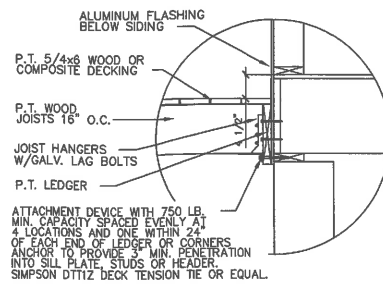
1 POST & BEAM DECK SUPPORT
A-4 NOT TO SCALE



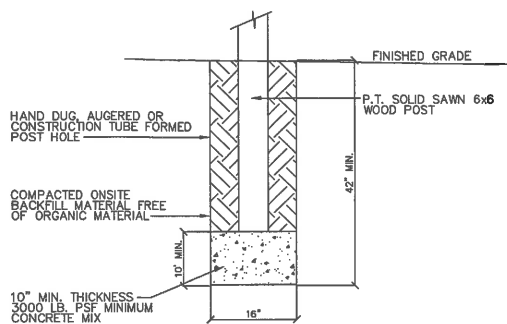
2 FASTENER PLACEMENT IN LEDGERS
A-3 NOT TO SCALE



4 RAILING POST INSTALLATION AND SUPPORT
A-4 NOT TO SCALE



3 DECK LATERAL LOAD CONNECTION
A-3 SCALE: 1\"/>



5 TYPICAL POST FOOTING
A-4 NOT TO SCALE

TABLE R507.2 IRC
DECK LEDGER CONNECTION TO BAND JOIST
(DECK LIVE LOAD=40 PSF, DECK DEAD LOAD= 10 PSF, DECK SNOW LOAD= 40 PSF)

CONNECTION DETAILS	JOIST SPAN						
	6' AND LESS	6'-1" TO 8'-0"	8'-1" TO 10'-0"	10'-1" TO 12'-0"	12'-1" TO 14'-0"	14'-1" TO 16'-0"	16'-1" TO 18'-0"
1/2" DIA. LAG SCREW WITH 1/2" MAXIMUM SHEATHING ^a	30	23	18	15	13	11	10
1/2" DIA. BOLT WITH 1/2" MAXIMUM SHEATHING ^b	36	36	34	29	24	21	19
1/2" DIA. BOLT WITH 1" MAXIMUM SHEATHING ^c	36	36	29	24	21	18	16

- ON-CENTER SPACING OF FASTENERS
- a. LEDGERS SHALL BE FLASHED IN ACCORDANCE WITH SECTION R703.4 TO PREVENT WATER FROM CONTACTING THE HOUSE BAND JOIST.
 - b. SNOW LOAD SHALL NOT BE ASSUMED TO ACT CONCURRENTLY WITH THE LIVE LOAD.
 - c. THE TIP OF THE LAG SCREW SHALL FULLY EXTEND BEYOND THE INSIDE FACE OF THE BAND JOIST.
 - d. SHEATHING SHALL BE WOOD STRUCTURAL PANEL OR SOLID SAWN LUMBER.
 - e. SHEATHING SHALL BE PERMITTED TO BE WOOD STRUCTURAL PANEL, GYPSUM BOARD, FIBERBOARD, LUMBER OR FOAM SHEATHING, UP TO 1/2 INCH THICKNESS OF STACKED WASHERS SHALL BE PERMITTED TO SUBSTITUTE FOR UP TO 1/2 INCH OF ALLOWABLE SHEATHING THICKNESS WHERE COMBINED WITH WOOD STRUCTURAL PANEL OR LUMBER SHEATHING.

TABLE R507.2.1 IRC
PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS

	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS			
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
LEDGER *	2 INCHES ^a	3/4 INCH	2 INCHES ^b	1 5/8 INCHES
BAND JOIST *	3/4 INCH	2 INCHES	2 INCHES ^b	1 5/8 INCHES

- a. LAG SCRES OR BOLTS SHALL BE STAGGERED FROM TOP TO BOTTOM ALONG THE HORIZONTAL RUN OF THE DECK LEDGER IN ACCORDANCE WITH FIGURE R507.2.1(1).
- b. MAXIMUM 5 INCHES.
- c. FOR ENGINEERED RIM JOISTS, THE MANUFACTURER'S RECOMMENDATIONS SHALL GOVERN.
- d. THE MINIMUM DISTANCE FROM BOTTOM ROW OF LAG SCREWS OR BOLTS TO THE TOP EDGE OF THE LEDGER SHALL BE IN ACCORDANCE WITH FIGURE R507.2.1(1).



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Plan:
SECTIONS & DETAILS

Seal:
David Secor
Professional Engineer
No. 147-0400'
Not Noted For Agency Review Or Construction Witness Stamp and Signature

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